



## Project Information:

**Project Name:** MHA Renovations and Repairs for MHA Housing at Montgomery Plaza  
**Project Address:** 1395 Pennsylvania Street, Memphis, Tennessee 38106  
**Project Number:** 21640920  
**Observation Date:** 03/08/2023

### Observation Addresses:

61 West Olive St, Unit 1  
65 West Olive St, Unit 2  
1411 Tumberland Dr, Unit 1  
1409 Tumberland Dr, Unit 2  
1409 Tumberland Dr, Unit 1  
1398 Kansas St, Unit 1

## Attendees:

Name	Company	Email
Kelsey Josephson	SSR, Inc.	kjosephson@ssr-inc.com
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## Distribution:

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**Weather:** High 50's-low 60's and sunny

The above referenced project assessment site was attended by SSR to observe the existing condition of multiple units located at the MHA Montgomery Plaza Neighborhood. The unit comments are listed in the respective description associated with each photo. See Appendix A for approximate locations of pictures taken in each unit. All corrective actions shall be completed by the contractor as indicated. The items below are the deficiencies noted as well as the corrective actions to be taken:

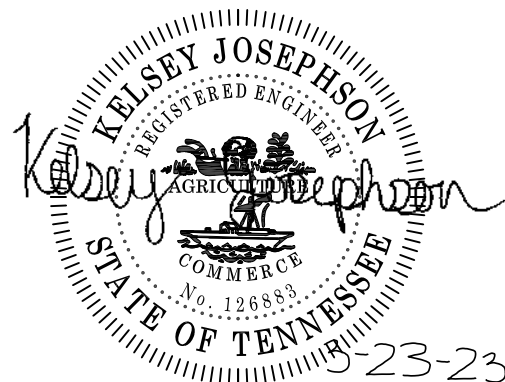
Item	Description	Action Required
1	<p>Cracked bottom chord of truss supporting roof.</p> <p>This problem was present in the following units: <a href="#">1409 Tumberland Unit 2</a></p>	<p>Sister the bottom chord for the entire length of the crack, extend past the crack to nail to adequate material. See detail 2.</p>
2	<p>Water damage at kitchen and bathroom, especially near plumbing or active leaks. This includes miscellaneous rotten wood at the floor level or stud walls.</p> <p>This problem was present in the following units: <a href="#">61 West Olive Unit 1</a>, <a href="#">65 West Olive Unit 2</a>, <a href="#">1411 Tumberland Unit 1</a>, <a href="#">1409 Tumberland Unit 2</a>, <a href="#">1409 Tumberland Unit 1</a> and <a href="#">1398 Kansas, Unit 1</a></p>	<p>Replace rotten wood at kitchen and bathroom (especially near plumbing), replace sills, studs, flooring, or joists as required due to water damage. Replace with "in kind" wood members to match existing. If floor joists are damaged replace or sister for entire length of span, see detail 1.</p>
3	<p>Bracing between the floor joists are not connected or cracked.</p> <p>This problem was present in the following units: <a href="#">65 West Olive Unit 2</a> and <a href="#">1398 Kansas Unit 1</a></p>	<p>Reattach bracing to floor joists and replace cracked bracing.</p>
4	<p>Splitting/cracked and settling joists supporting second floor.</p> <p>This problem was present in the following unit: <a href="#">61 West Olive Unit 1</a></p>	<p>If second-floor flooring is to be replaced, the joists shall be replaced in kind while the flooring is removed. If the second-floor flooring is to remain, raise the members to their original height and sister the member(s) for the entire length of the span. See detail 1.</p>

Item	Description	Action Required
5	<p>Broken or cracked treads on stairs.</p> <p>This problem was present in the following units: 1411 Tumberland Unit 1, 1409 Tumberland Unit 1 and 1398 Kansas Unit 1</p>	The broken treads shall be replaced.
6	<p>Roof truss bottom chord is cut at HVAC duct above second floor ceiling at unit separation.</p> <p>This problem was present in the following unit: 65 West Olive Unit 2</p>	<p>Provide new splice plate to reconnect truss bottom chords. See detail attached to this report, Figure 1.</p>
7	<p>Members around water heater support and the framing nearby at the ground level are saturated.</p> <p>This problem was present in the following units: 1409 Tumberland Unit 1 and 1411 Tumberland Unit 1</p>	Framing members and members around this platform shown in the photos are to be replaced
8	<p>Broken or unsalvageable plywood on second floor.</p> <p>This problem was present in the following units: 1409 Tumberland Unit 1 and 1411 Tumberland Unit 1</p>	The second-floor plywood shall be replaced.

Item	Description	Action Required
9	<p>Plywood flooring at the bathroom rotten. This can be seen at the first floor looking at the second-floor flooring, as well as on top of the flooring at the second level in the abated units. This also includes any rotten joists, plywood in areas other than the bathroom, and miscellaneous second floor framing near the bathroom.</p> <p>This problem was present in the following units: <a href="#">61 West Olive Unit 1</a>, <a href="#">65 West Olive Unit 2</a>, <a href="#">1411 Tumberland Unit 1</a>, <a href="#">1409 Tumberland Unit 2</a>, <a href="#">1409 Tumberland Unit 1</a> and <a href="#">1398 Kansas Unit 1</a></p>	<p>This flooring needs to be replaced and any other affected members as listed here. Splice detail may be used for joist repair – see detail attached to this report, Figure 1.</p>
10	<p>Water damage to framing located along the floor in living room area.</p> <p>This problem was present in the following unit: <a href="#">61 West Olive Unit 1</a></p>	<p>Rotten members to be replaced.</p>
11	<p>Termite damage found in some wall framing members.</p> <p>This problem was present in the following unit: <a href="#">1409 Tumberland Unit 1</a></p>	<p>Damaged members to be replaced.</p>

SSR understands the installation is ongoing and the above items indicate areas which may need attention to conform to the construction documents and specifications.

**Prepared by Lauren Thornton, EI; Kelsey Josephson, PE; Martin Benitez; and Ian Engstrom, PE.**



## **61 West Olive, Unit 1**



Photo 1: Unable to inspect kitchen area due to large presence of debris.

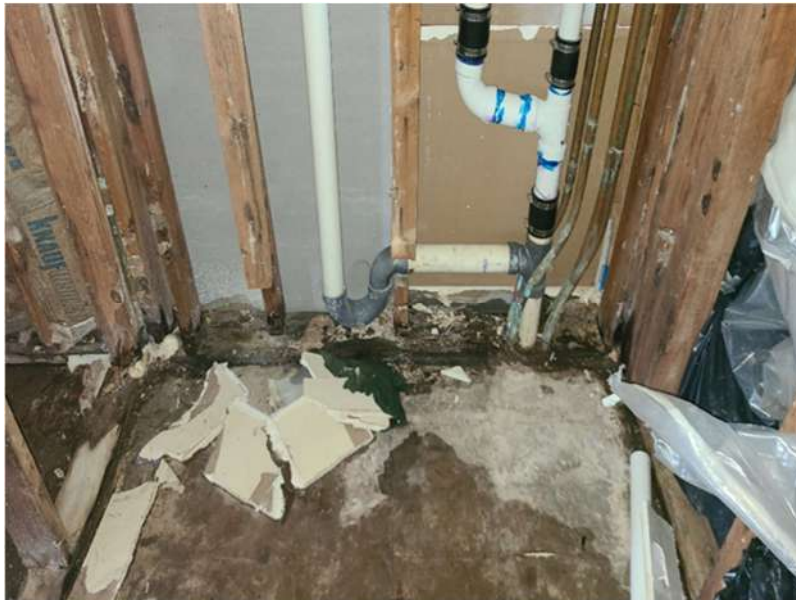


Photo 2: Lower framing adjacent to kitchen is rotten. Standing water present.



Photo 3: Section of floor joist missing.



Photo 4: Lower living room framing is rotten. Standing water present.



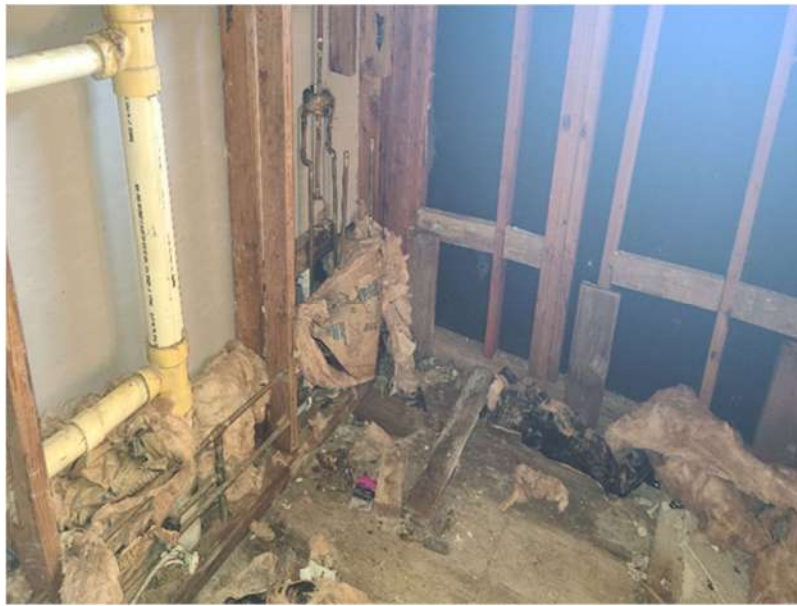


Photo 5: Lower framing and plywood in second floor bathroom is rotten.



## **65 West Olive, Unit 2**



Photo 1: Upper framing in the kitchen is rotten.



Photo 2: Plywood under hot water heater was replaced.



Photo 3: Cross bracing between joists missing in two spots.



Photo 4: New sub-flooring installed on the second floor.



Photo 5: Bottom chord of truss is cut.



Photo 6: Lower framing in second floor bathroom is rotten.

## **1411 Tumberland, Unit 1**





Photo 1: Plywood on second floor is broken.



Photo 2: Framing and plywood under hot water heater is rotten.



Photo 3: Upper framing and plywood above kitchen area is rotten.

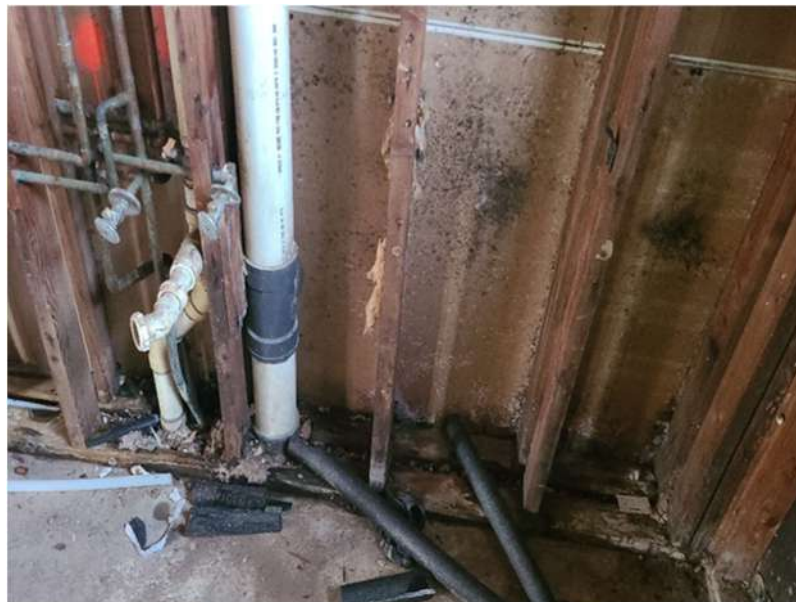


Photo 4: Lower framing in kitchen area is rotten





Photo 5: Broken stair tread.



Photo 6: Broken Stair tread.



Photo 7: Framing around the bathtub has been partially replaced. Judging from the rotten framing in the kitchen below, further framing will likely need to be replaced behind the bathtub.



Photo 8: Upper framing in bathroom area is rotten.

## **1409 Tumberland, Unit 2**



Photo 1: Lower framing in kitchen area is rotten.



Photo 2: Upper framing in kitchen area is rotten.





Photo 3: Lower framing and plywood in the 2<sup>nd</sup> floor bathroom area is rotten.



Photo 4: Truss chord splitting at splice plate.

# **1409 Tumberland, Unit 1**



Photo 1: Evidence of termite damage in wall studs near the hot water heater.



Photo 2: Termite damage.





Photo 3: Plywood under hot water heater is rotten.

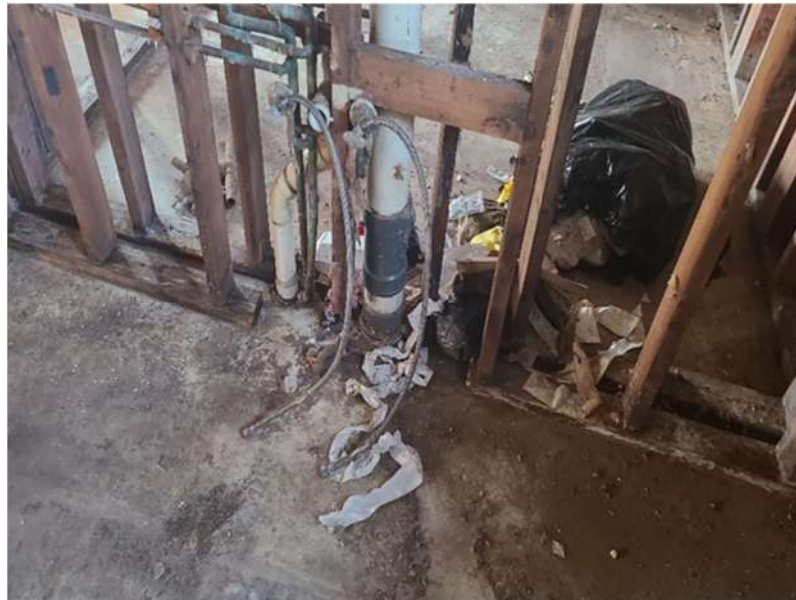


Photo 4: Lower framing in kitchen area is rotten.



Photo 5: Upper framing in kitchen area is rotten.



Photo 6: Broken stair tread.



Photo 7: Plywood on second floor was broken in multiple areas.

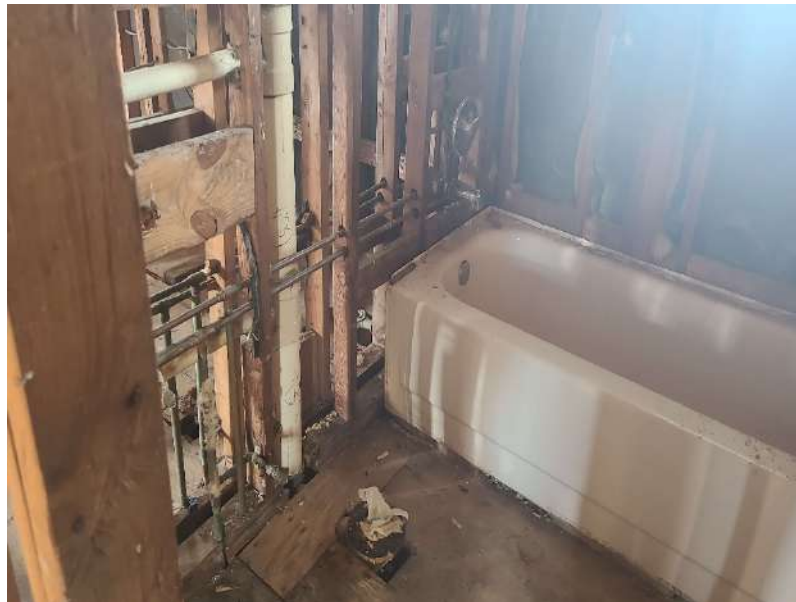


Photo 8: Lower framing in upstairs bathroom is rotten.

## **1398 Kansas, Unit 1**





Photo 1: Hot water heater framing has been replaced. Drywall has been installed.



Photo 2: Floor joist cross bracing is cracked.



Photo 3: Upper framing in kitchen is rotten.

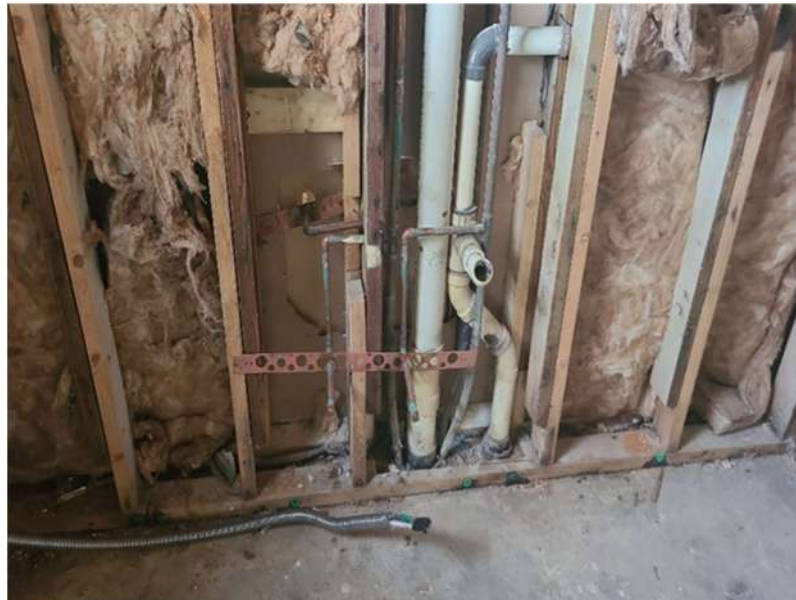


Photo 4: Lower wall framing has been replaced in kitchen area.



Photo 5: Broken stair tread.



Photo 6: New subflooring has been installed on the second floor.



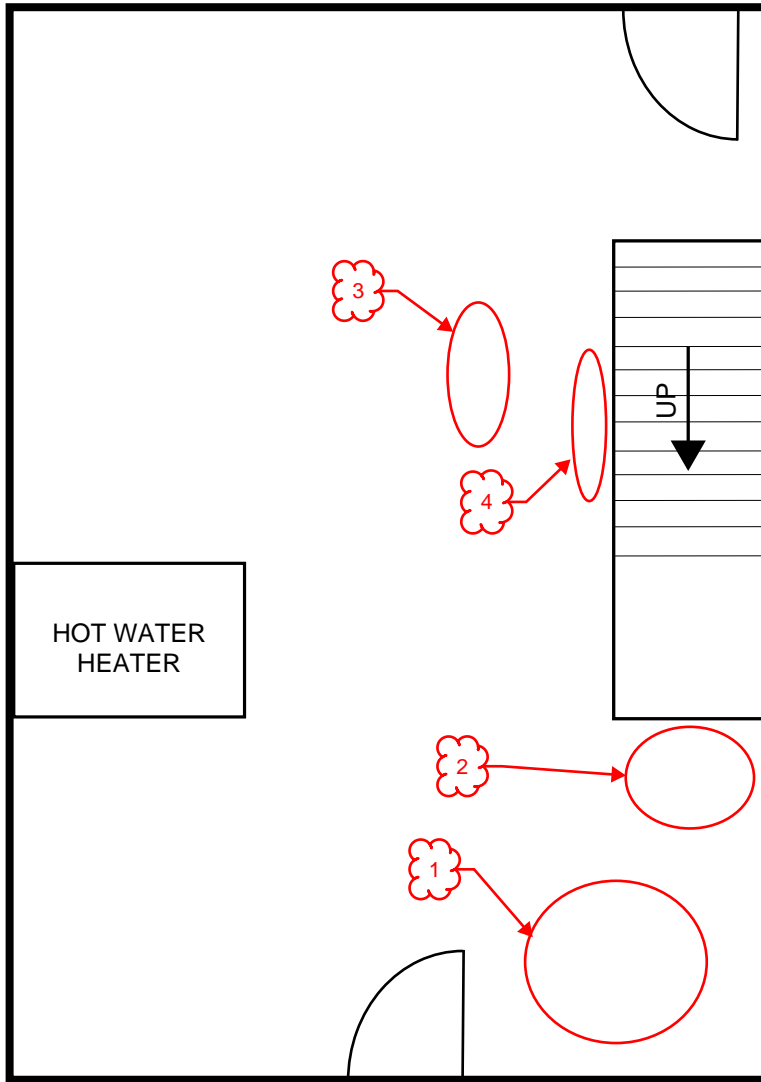


Photo 7: Wall stud broken off from top plate. Broken Member to be replaced.

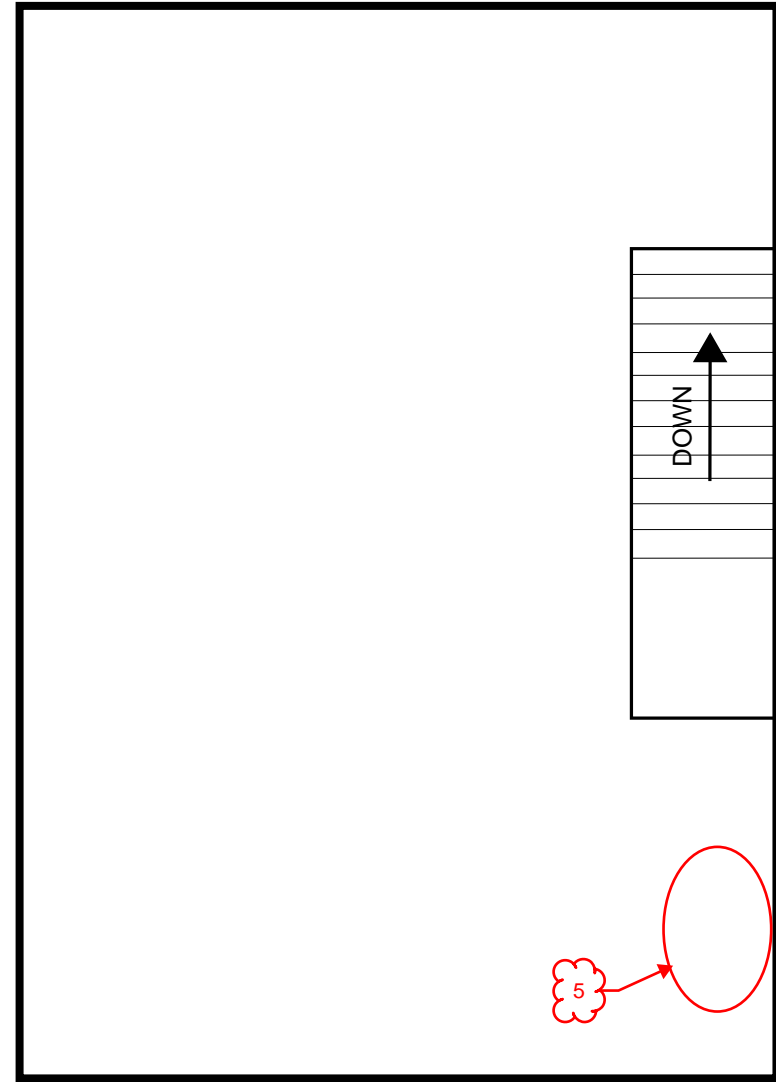


Photo 8: Lower framing in second floor bathroom is rotten.

## **Appendix A**

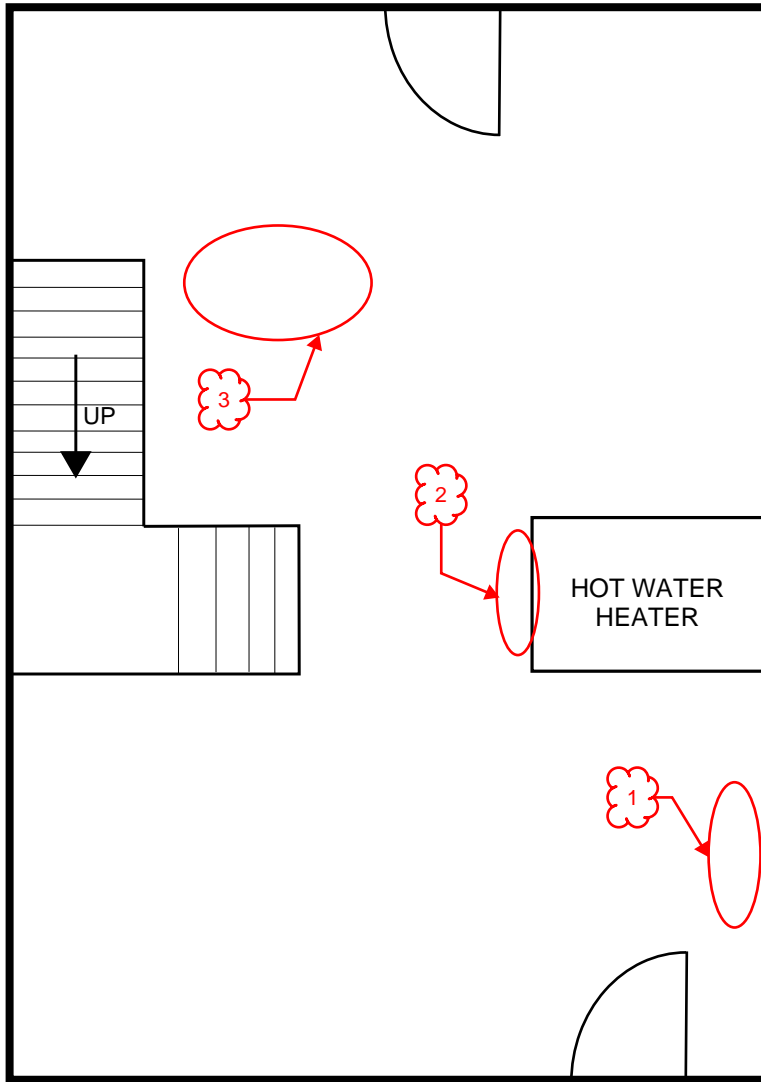


1ST FLOOR

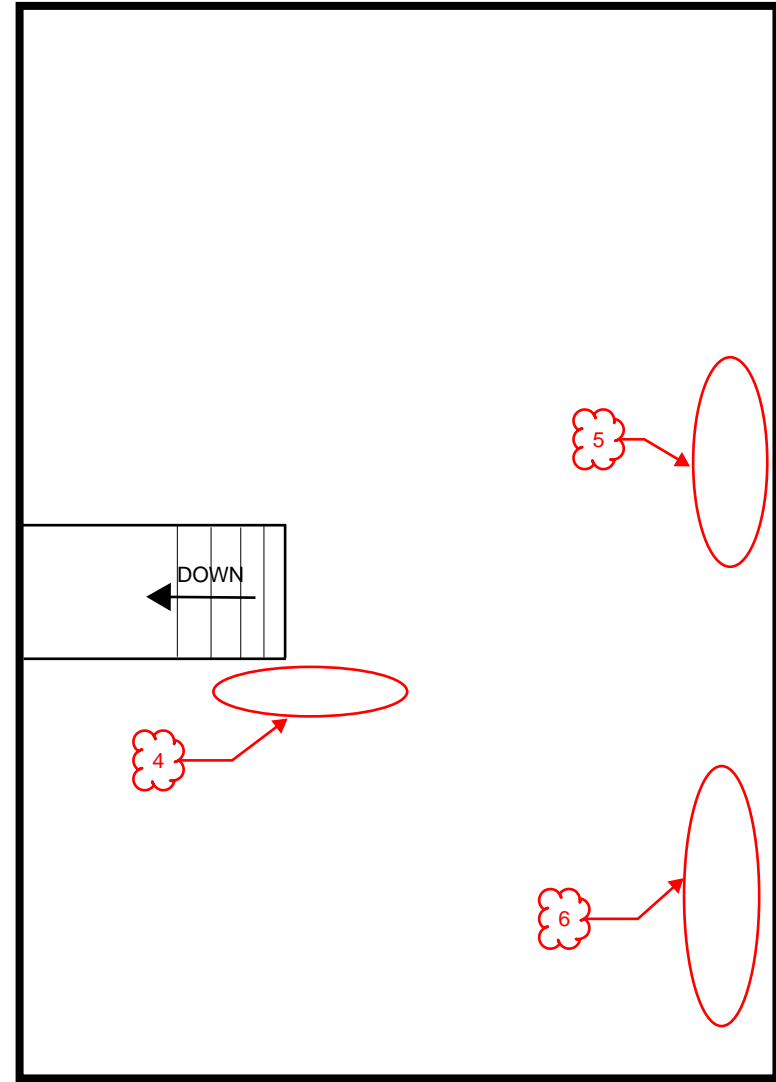


2ND FLOOR

**61 WEST OLIVE ST, UNIT 1**

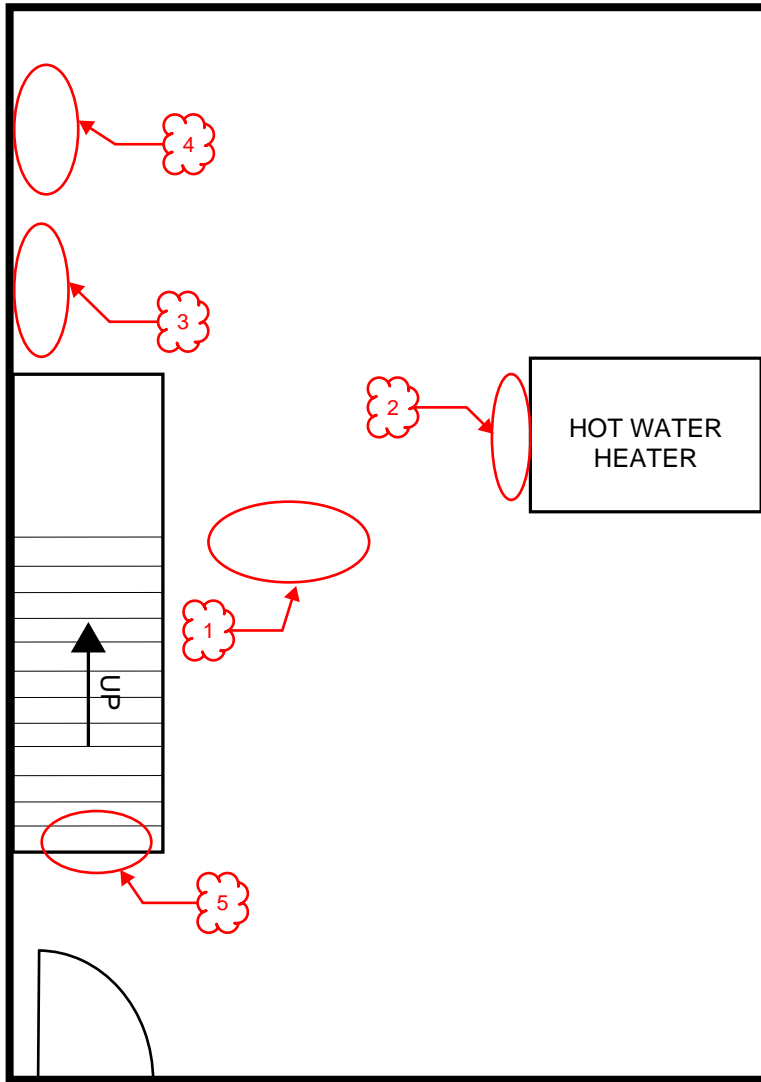


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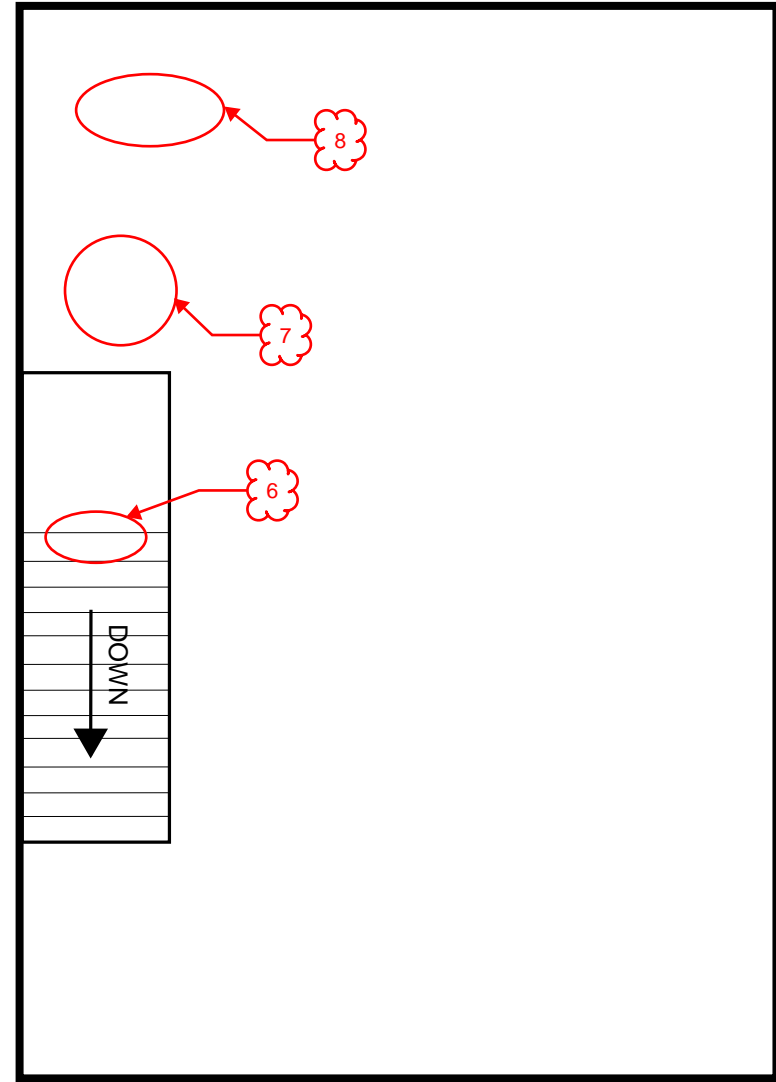


2ND FLOOR

**65 WEST OLIVE ST, UNIT 2**

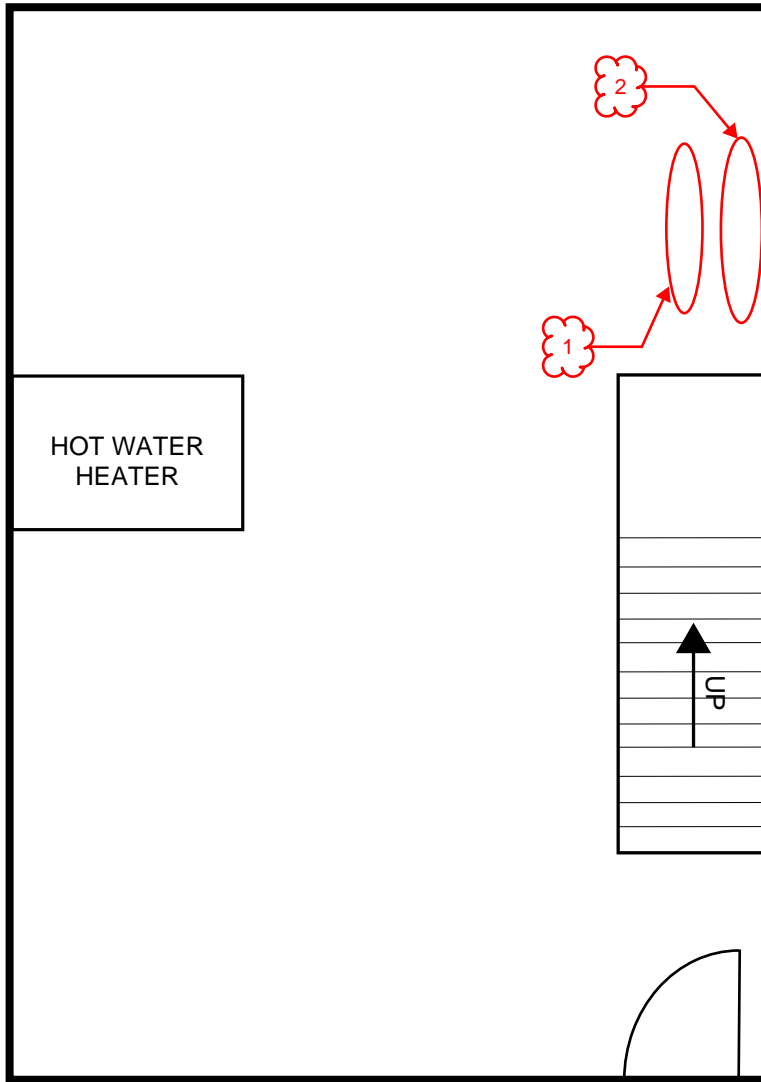


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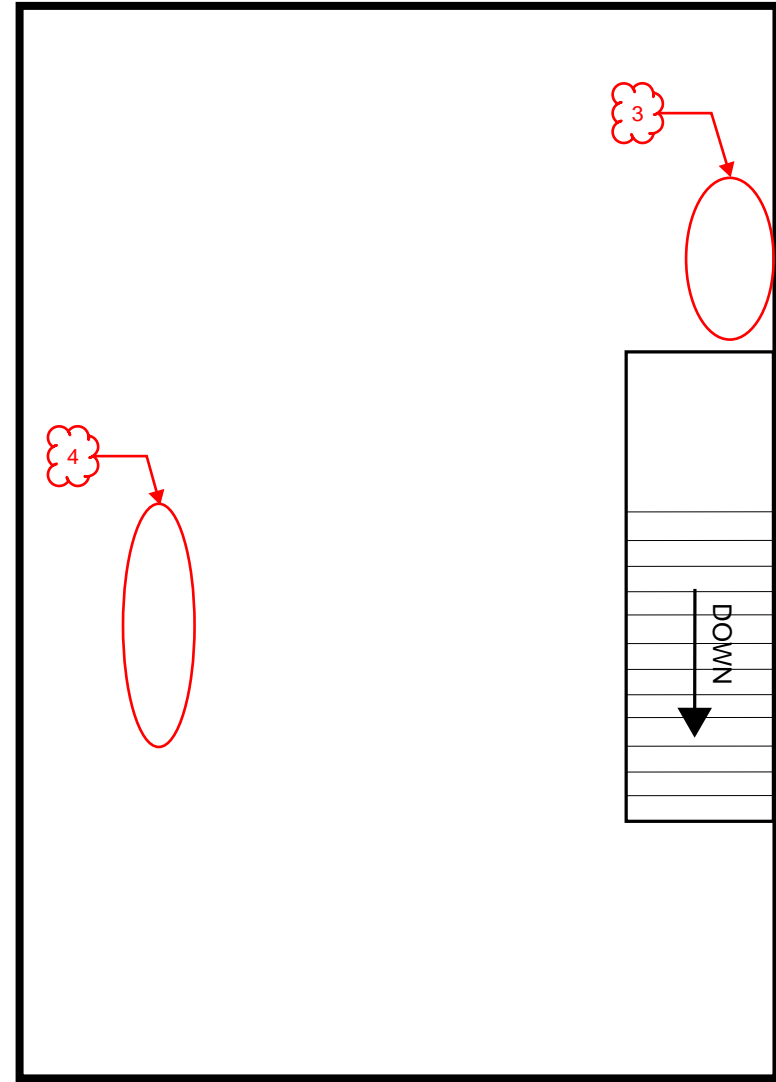


2ND FLOOR

**1411 TUMBERLAND AVE, UNIT 1**

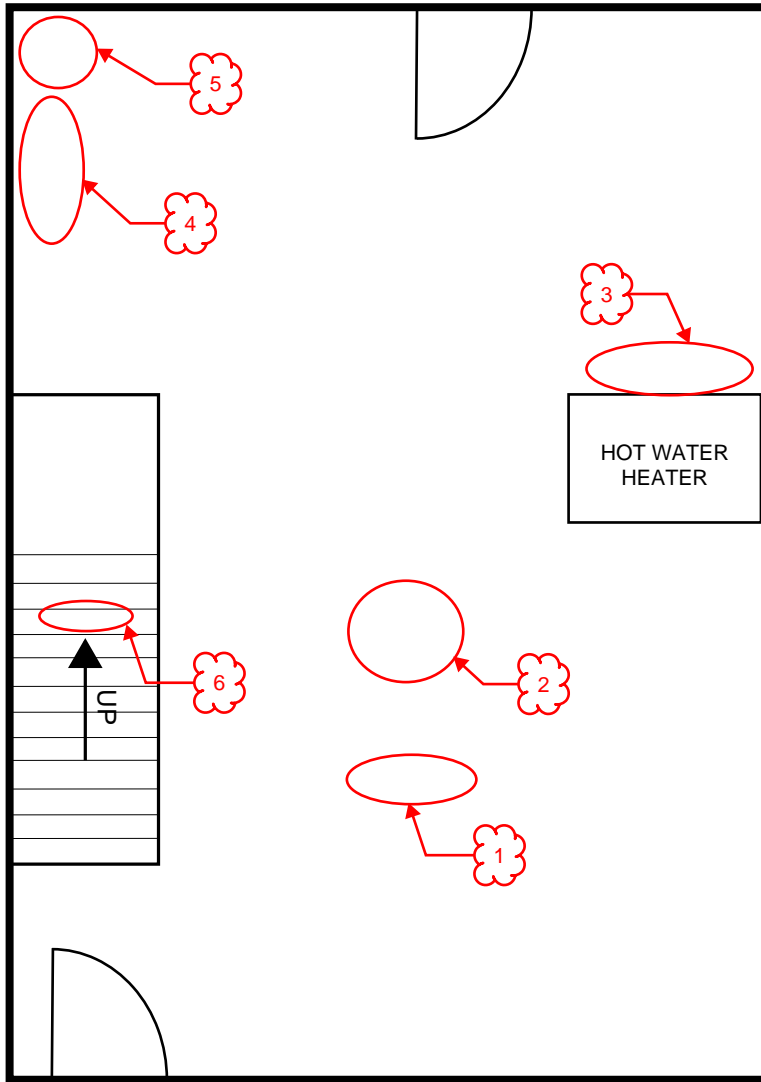


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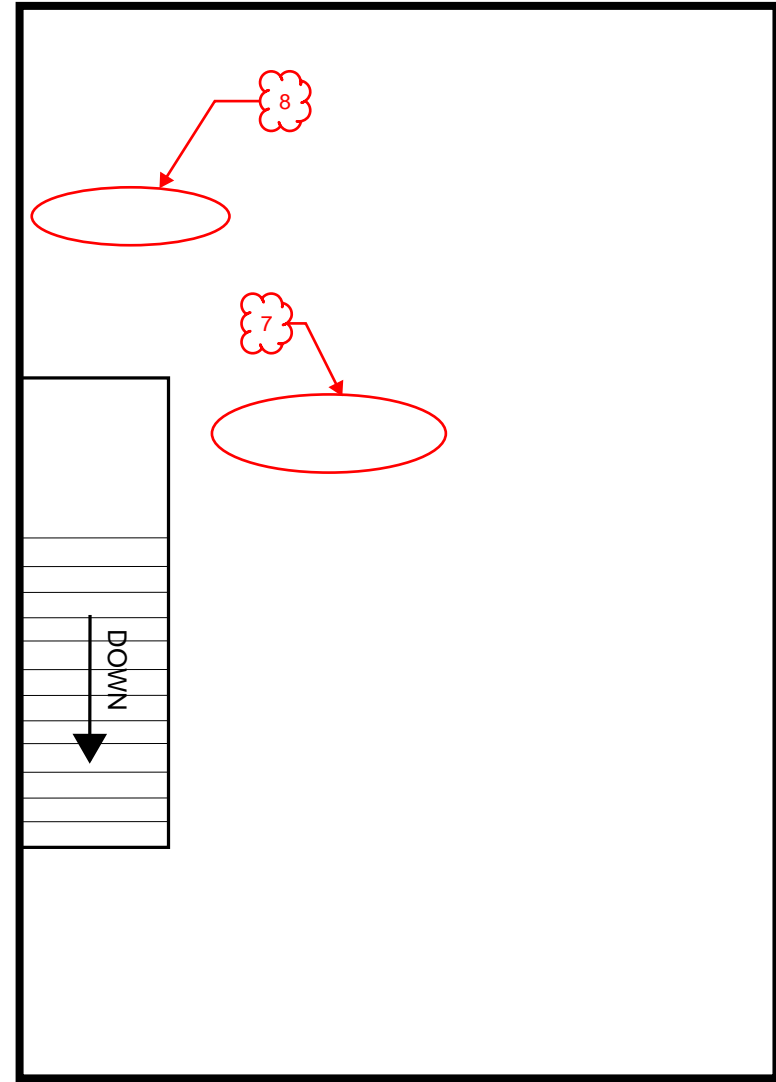


2ND FLOOR

**1409 TUMBERLAND AVE, UNIT 2**



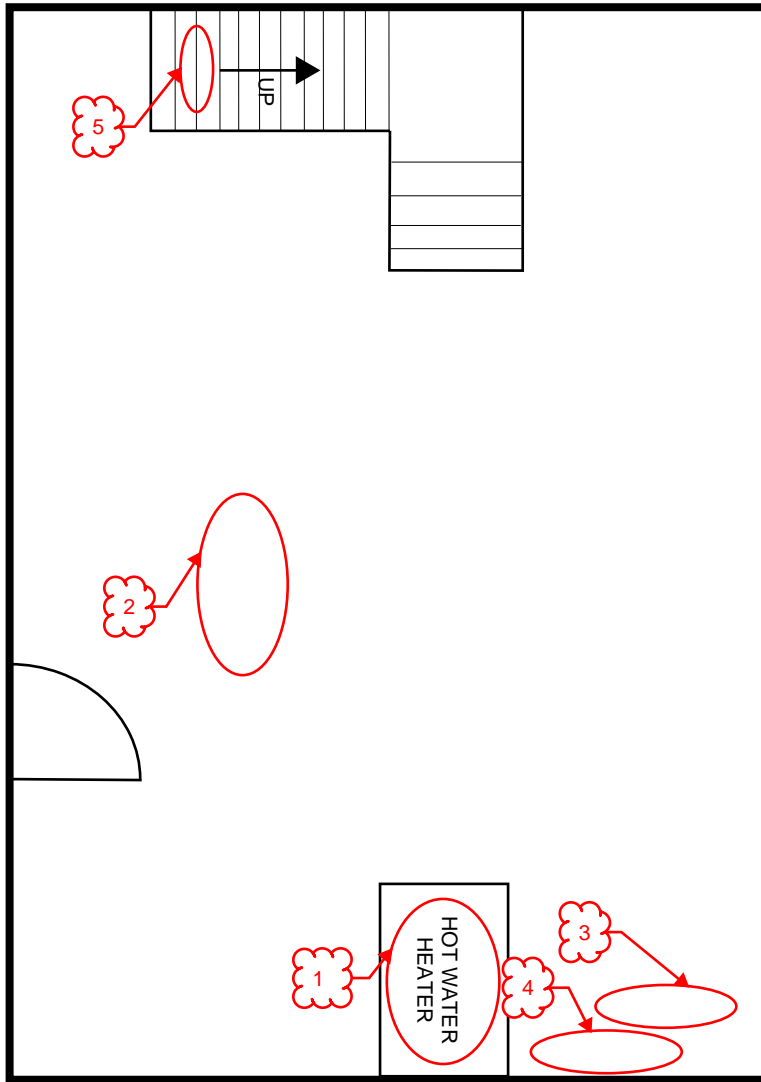
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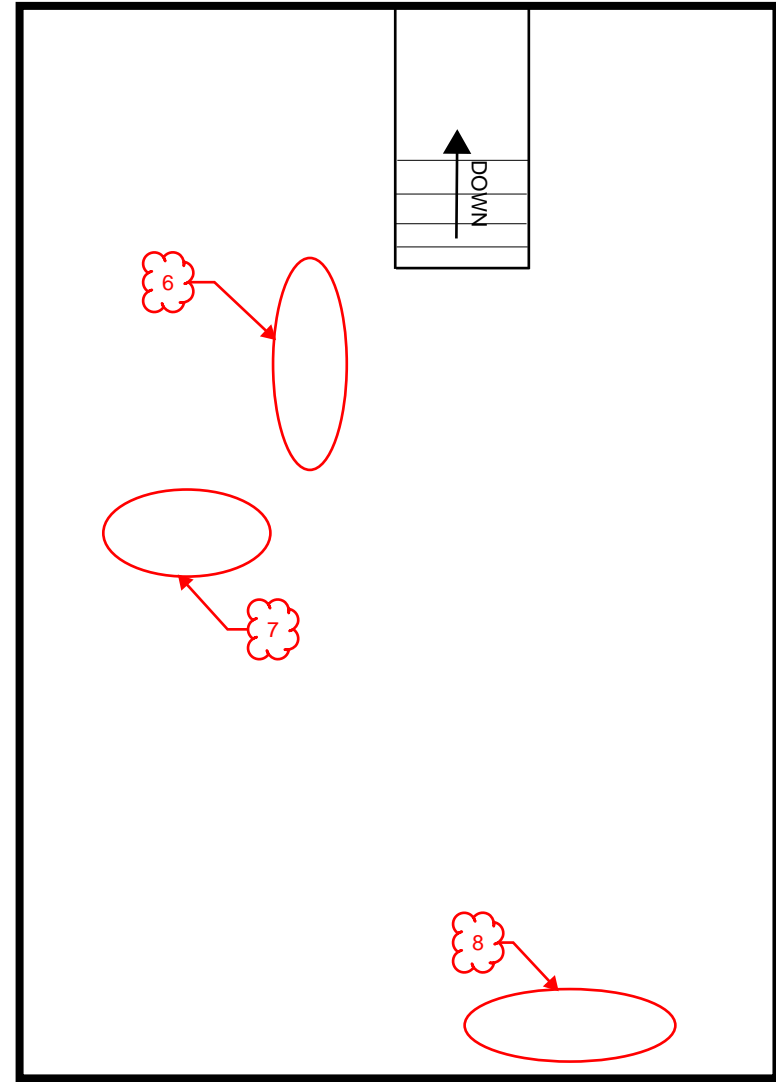
2ND FLOOR

**1409 TUMBERLAND AVE, UNIT 1**





1ST FLOOR

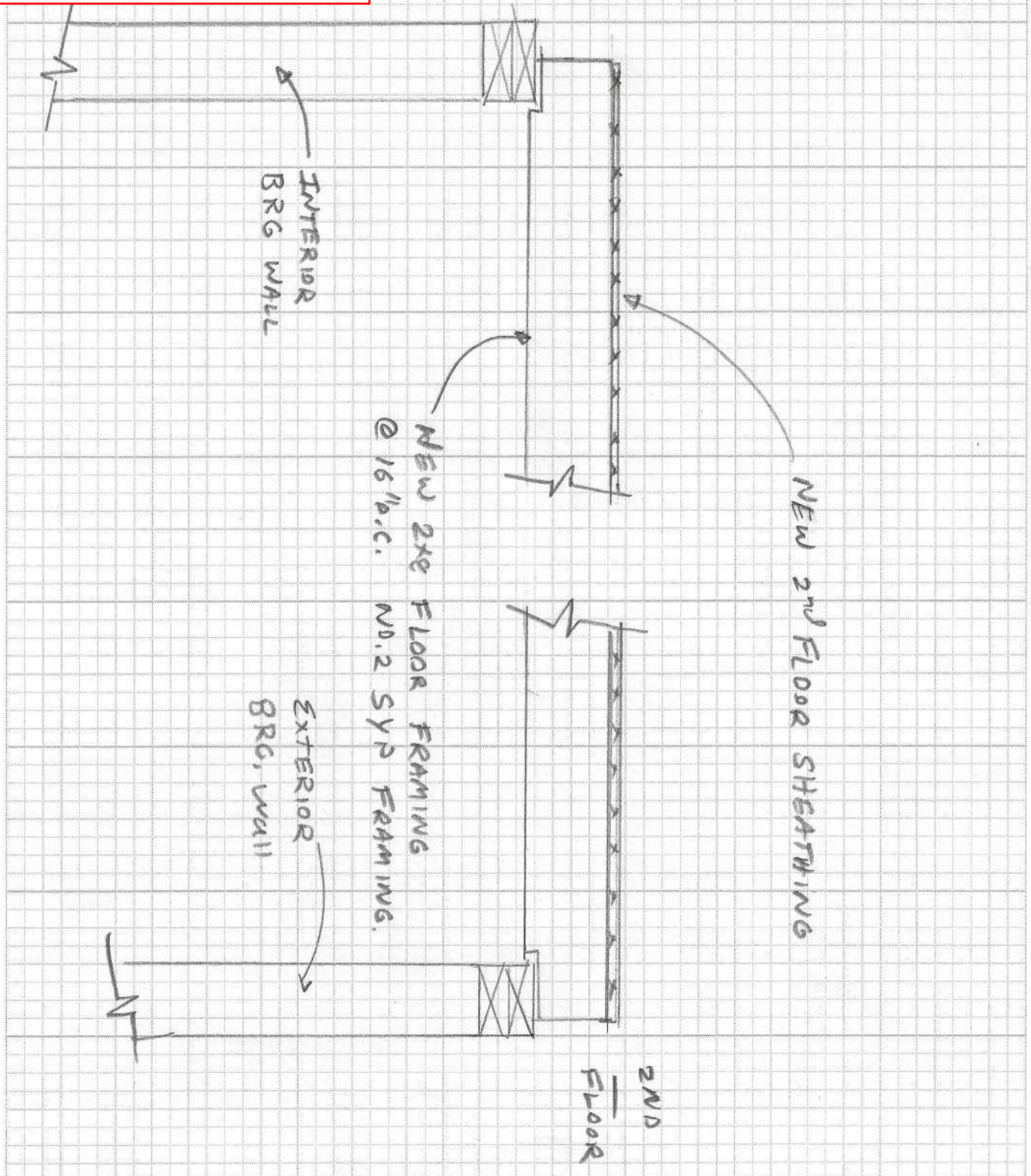


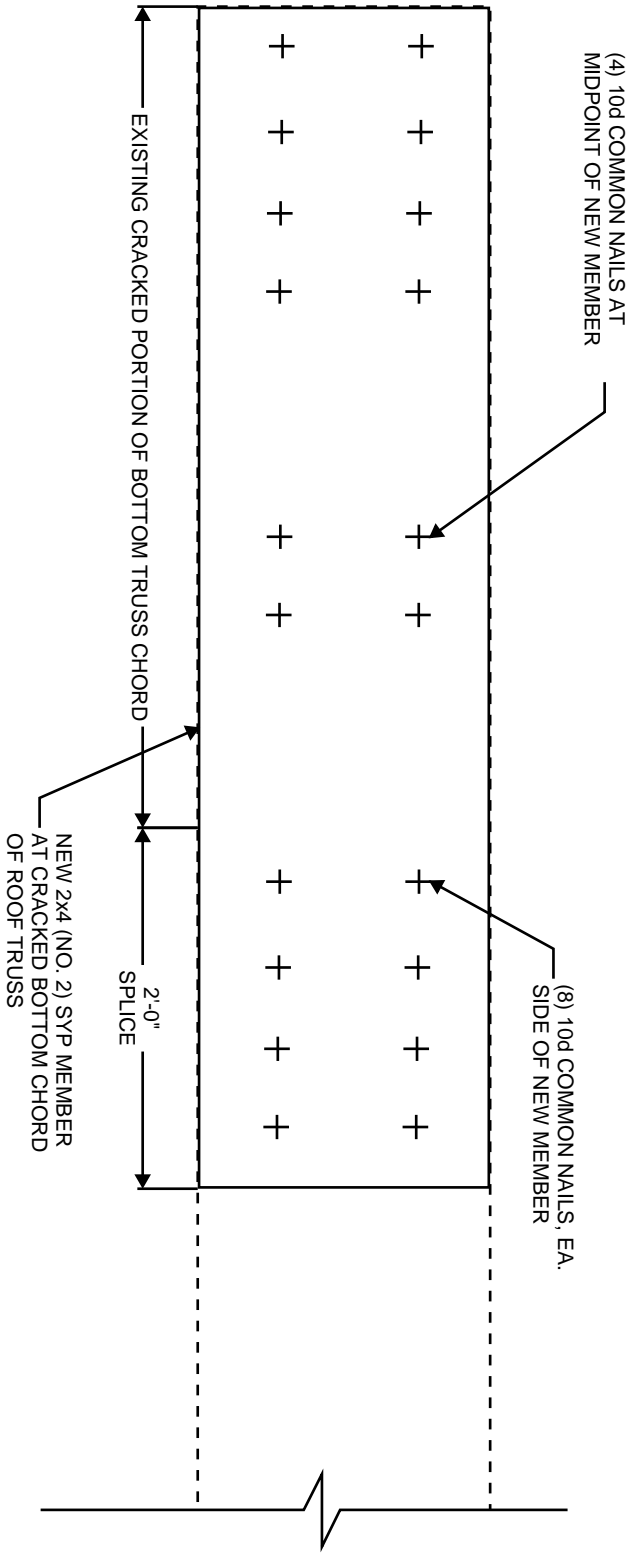
2ND FLOOR

**1398 KANSAS ST, UNIT 1**

BY KM DATE \_\_\_\_\_ SUBJECT MONTGOMERY PLAZA SHEET NO. \_\_\_\_\_ OF \_\_\_\_\_  
CHKD. BY \_\_\_\_\_ DATE \_\_\_\_\_ JOB NO. \_\_\_\_\_

# DETAIL 1: NEW FLOOR JOISTS





**DETAIL 2: BOTTOM**  
**CHORD SPLICE**